



Development Services Department
Environmental Coordinator
450 110th Avenue NE
Bellevue, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPOSAL NAME:	Republic Services Stormwater Improvements
LOCATION:	1600 127th Ave NE
FILE NUMBERS:	22-111843-LO
PROPONENT:	Scott McGourty, Republic Services
DESCRIPTION OF PROPOSAL: Install upgrades to the existing on-site stormwater infrastructure located in the southwest corner of the site as part of implementation of stormwater best management practices. The upgrades consist of reforming an existing filtration swale into a concrete stilling basin; retrofitting the existing vault into a coalescing plate oil-water separator; replacing the existing oil-water separator with a larger filtration media vault; and replacing the existing catch basin filter with oil absorbent booms.	

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision.

DATE ISSUED: 11/10/2022

APPEAL DATE: 11/28/2022

A written appeal must be filed in the City Clerk's Office by 5 p.m. on the appeal date noted above.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposal's probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project) or if the DNS was procured by misrepresentation or lack of material disclosure.

Reilly Pittman
Issued By: *Planning Manager* **for** **Date:** November 10, 2022
Elizabeth Stead, Environmental Coordinator
Development Services Department



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Republic Services Stormwater Improvements

Proposal Address: 1600 127th Ave NE

Proposal Description: Critical Areas Land Use Permit to allow installation of upgraded stormwater infrastructure within a stream and wetland buffer to improve water quality of discharged stormwater.

File Number: 22-111843-LO

Applicant: Scott McGourty, Republic Services

Decisions Included: Critical Areas Land Use Permit
(Process II. LUC 20.30P)

Planner: David Wong, Planner

**State Environmental Policy Act
Threshold Determination:** **Determination of Non-Significance**

Reilly Pittman
Planning Manager
Elizabeth Stead, Environmental Coordinator
Development Services Department

Director's Decision: **Approval with Conditions**

Reilly Pittman
Planning Manager
Elizabeth Stead, Land Use Director
Development Services Department

Application Date: May 19, 2022
Notice of Application Publication Date: June 23, 2022
Decision Publication Date: November 10, 2022
Project Appeal Deadline: November 28, 2022

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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Attachments

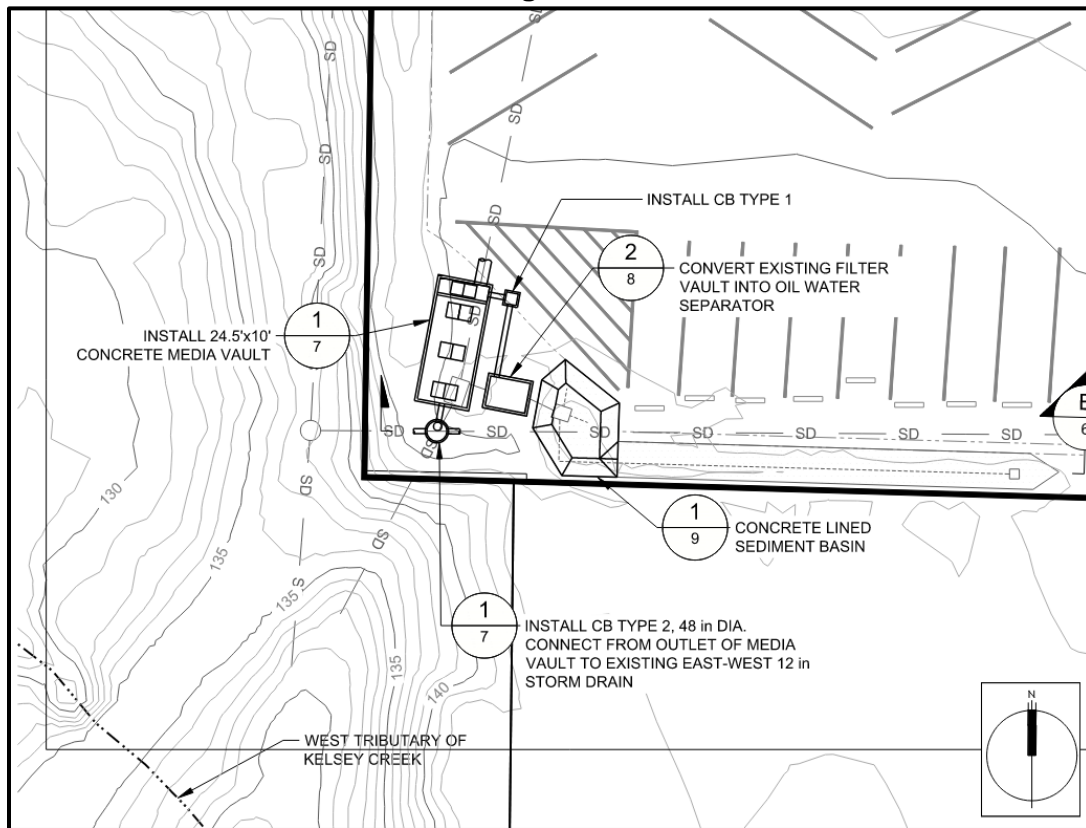
1. Site Plan

I. Proposal Description

The applicant proposes to install upgrades to the existing on-site stormwater infrastructure located in the southwest corner of the site as part of implementation of stormwater best management practices. The upgrades consist of reforming an existing filtration swale into a concrete stilling basin; retrofitting the existing vault into a coalescing plate oil-water separator; replacing the existing oil-water separator with a larger filtration media vault; and replacing the existing catch basin filter with oil absorbent booms.

Proposals to locate new stormwater infrastructure within a Type-F stream buffer and wetland buffer are required to receive approval through a Critical Areas Land Use Permit (CALUP). See Figure 1 for proposed conditions.

Figure 1



II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The subject property is located at 1600 127th Ave NE and is listed under King County tax parcel number 2825059230. The size of the lot is 216,546 square feet and contains a stream buffer of 50 feet and a wetland buffer of 110 feet. Much of the site is and was previously developed for refuse vehicle storage and maintenance. Vegetation on site is limited on-site to the south and west property lines and contains low growing grasses and ground cover around the existing swale in the southwest corner. See Figure 2 for existing site conditions.

Figure 2



B. Zoning, Neighborhood Area, and Comprehensive Plan

The underlying zoning of the property is BelRed-Residential/Commercial Node 2 (BR-RC-2) and it is located within the BelRed neighborhood area. The property has a Comprehensive Plan designation of BelRed-Residential/Commercial Node 2 (BR-RC-2).

C. Land Use Context

The site is bordered to the north and west by BR-R zoning; to the east by BR-RC-1 zoning; and the south by BR-RC-2 zoning.

D. Critical Areas

i. Streams and Wetlands

West Tributary to Kelsey Creek and the associated wetland is located on the adjacent parcel to the west and southwest of the site. Buffers associated with the stream (50 feet) and wetland (110 feet) overlap and extend onto the subject site in the southwest corner.

E. Critical Areas Functions and Values

i. Streams and Riparian Areas

Most of the elements necessary for a healthy aquatic environment rely on processes sustained by dynamic interaction between the stream and the adjacent riparian area (Naiman et al., 1992). Riparian vegetation in floodplains and along stream banks provides a buffer to help mitigate the impacts of urbanization (Finkenbine et al., 2000 in Bolton and Shellberg, 2001). Riparian areas support healthy stream conditions.

Riparian vegetation, particularly forested riparian areas, affect water temperature by providing shade to reduce solar exposure and regulate high ambient air temperatures, slowing or preventing increases in water temperature (Brazier and Brown, 1973; Corbett and Lynch, 1985).

Upland and wetland riparian areas retain sediments, nutrients, pesticides, pathogens, and other pollutants that may be present in runoff, protecting water quality in streams (Ecology, 2001; City of Portland 2001). The roots of riparian plants also hold soil and prevent erosion and sedimentation that may affect spawning success or other behaviors, such as feeding.

Both upland and wetland riparian areas reduce the effects of flood flows. Riparian areas and wetlands reduce and desynchronize peak crests and flow rates of floods (Novitzki, 1979; Verry and Boelter, 1979 in Mitsch and Gosselink, 1993). Upland and wetland areas can infiltrate floodflows, which in turn, are released to the stream as baseflow

Stream riparian areas, or buffers, can be a significant factor in determining the quality of wildlife habitat. For example, buffers comprised of native vegetation with multi-canopy structure, snags, and down logs provide habitat for the greatest range of wildlife species (McMillan, 2000). Vegetated riparian areas also provide a source of large woody debris that helps create and maintain diverse in-stream habitat, as well as create woody debris jams that store sediments and moderate flood velocities.

Sparsely vegetated or vegetated buffers with non-native species may not perform the needed functions of stream buffers. In cases where the buffer is not well vegetated, it is necessary to either increase the buffer width or require that the standard buffer width be restored or revegetated (May 2003). Until the newly planted buffer is established the near term goals for buffer functions may not be attained.

Riparian areas often have shallow groundwater tables, as well as areas where groundwater and surface waters interact. Groundwater flows out of riparian wetlands, seeps, and springs to support stream baseflows. Surface water that flows into riparian areas during floods or as direct precipitation infiltrates into groundwater in riparian areas and is stored for later discharge to the stream (Ecology, 2001; City of Portland, 2001).

ii. Wetlands

Wetlands provide important functions and values for both the human and biological environment—these functions include flood control, water quality improvement, and nutrient production. These “functions and values” to both the environment and the citizens of Bellevue depend on their size and location within a basin, as well as their diversity and quality. While Bellevue’s wetlands provides various beneficial functions, not all wetlands perform all functions, nor do they perform all functions equally well (Novitski et al., 1995). However, the combined effect of functional processes of wetlands within basins provides benefits to both natural and human environments. For example, wetlands provide significant stormwater control, even if they are degraded and comprise only a small percentage of area within a basin.

III. Consistency with Land Use Code Requirements:

A. General Development Requirements – 20.20

Stormwater infrastructure is allowed within the BR-RC-2 zoning district. Conformance with all zoning requirements will be verified as part of the required Clearing & Grading Permit review. See Section X for Conditions of Approval related to required Clearing & Grading Permit.

B. Critical Areas Requirements LUC 20.25H:

i. Consistency with LUC 20.25H.055 – New or Expanded Stormwater Facilities

Location of stormwater facilities within a stream and wetland buffer is allowed only when no technically feasible alternative with less impact on the critical area or buffer exists. In compliance with City of Bellevue Utilities codes and standards, minimum requirement #1 requires discharge or stormwater to occur at the natural discharge location, or south westward and towards the stream and wetland. The property benefits from existing stormwater infrastructure that will be upgraded and retrofit to improve stormwater quality discharged to the stream and stream buffer. Minor clearing and grading will occur around existing infrastructure in the southwest corner of the site as described in the Section I of this report. A temporary disturbance restoration plan will be required to be submitted for review under the Clearing & Grading Permit. See Section X for conditions of approval related to restoration plan requirements.

C. Consistency with Land Use Code Critical Areas Performance Standards:

i. Stream and Wetland Performance Standards – 20.25H.080.A and .100

The stormwater infrastructure meets all performance standards of 20.25H.080.A (streams) and .100 (wetlands). No new lights or sources of noise are proposed to be located within stream and wetland buffer as a result of the proposal. The existing stormwater infrastructure is designed to collected runoff generated by the development will be upgraded and retrofit to improve treated stormwater quality currently discharging to the stream and wetland buffer. All areas of temporary disturbance will be required to be restored through a restoration plan submitted with

a Clearing & Grading Permit. The preliminary civil design has been reviewed by Utilities Department staff and determined to comply with Chapter 24.06 BCC, Storm and Surface Water Utility Code. See Section X for Conditions of Approval related to the restoration plan.

IV. Public Notice and Comment

Application Date:	May 19, 2022
Public Notice (500 feet):	June 23, 2022
Minimum Comment Period:	July 7, 2022

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on June 23, 2022, and it was mailed to property owners within 500 feet of the project site. No comments have been received from the public as of the writing of this staff report.

V. Summary of Technical Reviews

Clearing and Grading:

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development. Due to the proximity to the Type-F stream and wetland, site development is restricted during the rainy season to avoid risk of impacts to the stream and wetland critical area, and all pesticides, insecticides, and fertilizer use shall be in accordance with City of Bellevue Environmental Best Management Practices. Geotechnical inspection conducted by the project engineer will be required to occur. See Section X for Condition of Approval related to rainy season restrictions and pesticide, insecticide, and fertilizer use.

Utilities:

The Utilities Division of the Development Services Department has reviewed the proposed development for compliance with Utilities codes and standards. The Utilities staff found no issues with the proposed development. A separate Storm Connection Permit (UB) will be required to be applied for and approved as part of the development. See Section X for Condition of Approval related to Utilities Permit for stormwater connection.

VI. State Environmental Policy Act (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. The Environmental Checklist submitted with the application adequately discloses expected environmental impacts associated with the project. The City codes and requirements, including the Clear and Grade Code, Utility Code, Land Use Code, Noise Ordinance, Building Code and other construction codes are expected to mitigate potential environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements.

A. Earth and Water

A temporary erosion and sedimentation control plan is included in the project plans and addresses all requirements for restoring the site to its current condition as well as erosion and sedimentation management practices. Erosion and sediment control best management practices include the installation of silt fencing around the work area and covering exposed soils to prevent migration of soils to the adjacent stream and wetland. The applicant will also be required to submit information regarding the use of pesticides, insecticides, and fertilizers, if any are proposed, to avoid impacts to water resources. See Section X for Conditions of Approval related to pesticide, insecticide, and pesticide use.

VII. Changes to Proposal as a Result of City Review

No changes were requested by the City during the review of this proposal.

VIII. Decision Criteria

The proposal, as conditioned below, meets the applicable regulations and decision criteria for a Critical Areas Land Use Permit pursuant to LUC Section 20.30P.

A. Critical Areas Land Use Permit Decision Criteria 20.30P

The Director may approve or approve with modifications an application for a critical areas land use permit if:

1. The proposal obtains all other permits required by the Land Use Code;

Finding: The applicant must obtain a Clearing & Grading Permit and Utilities Permit before beginning any work. See Section X for Conditions of Approval related to required Clearing & Grading Permit.

2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;

Finding: The proposal has been designed to completely avoid direct impacts to the stream and wetland, and to minimize impacts to the buffer by improving existing stormwater infrastructure in the disturbed areas where it is currently located. The proposal results in the least amount of impact to the site while improving discharged stormwater quality.

3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and;

Finding: As discussed in Section III of this report, the proposal meets the performance standards of LUC 20.25H.080.A and .100 for work within stream and wetland critical area buffers.

4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;

Finding: No change in service by public facilities will occur through this proposal.

5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and

Finding: Restoration of temporary disturbance caused by construction is discussed in the proposal reporting and is consistent with the requirements of LUC 20.25H.210. Plans consistent with the activities of this approval are required to be submitted under the Clearing & Grading Permit for review and final approval. See Section X for Conditions of Approval related to required Clearing & Grading Permit.

6. The proposal complies with other applicable requirements of this code.

As discussed in Section III of this report, the proposal complies with all other applicable requirements of the Land Use Code.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of Land Use does hereby approve with conditions the proposal to construct stormwater infrastructure upgrades within the 50-foot stream buffer and 110-foot wetland buffer.

Note - Expiration of Approval: In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Clearing & Grading Permit or other necessary development permits within one year of the effective date of the approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Applicable Ordinances	Contact Person
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC 20	David Wong, 425-452-4282
Utilities Code- BCC 24	Mark Dewey, 425-452-6179

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

1. Construction Permit:

Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Application for a Clearing & Grading Permit is required to be submitted and approved. Plans submitted as part of the permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140

Reviewer: David Wong, Land Use

2. Utilities Permit:

Approval of this Critical Areas Land Use Permit does not constitute an approval of a Utilities permit. Application for a Stormwater Connection Permit is required to be submitted and approved. Plans submitted as part of the permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140

Reviewer: David Wong, Land Use

3. Rainy Season Restrictions:

Due to critical area proximity, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A

Reviewer: Savina Uzunow, Clearing and Grading

4. Final Restoration Plan

A restoration plan addressing any ground disturbance associated with the stormwater infrastructure upgrades shall be submitted as a component of the Clearing & Grading Permit. The plan shall include and identify all areas of restoration work, plant materials, and quantities, and shall comply with species and spacing recommendations of the Critical Areas Handbook.

Authority: Land Use Code 20.25H.205.F

Reviewer: David Wong, Land Use

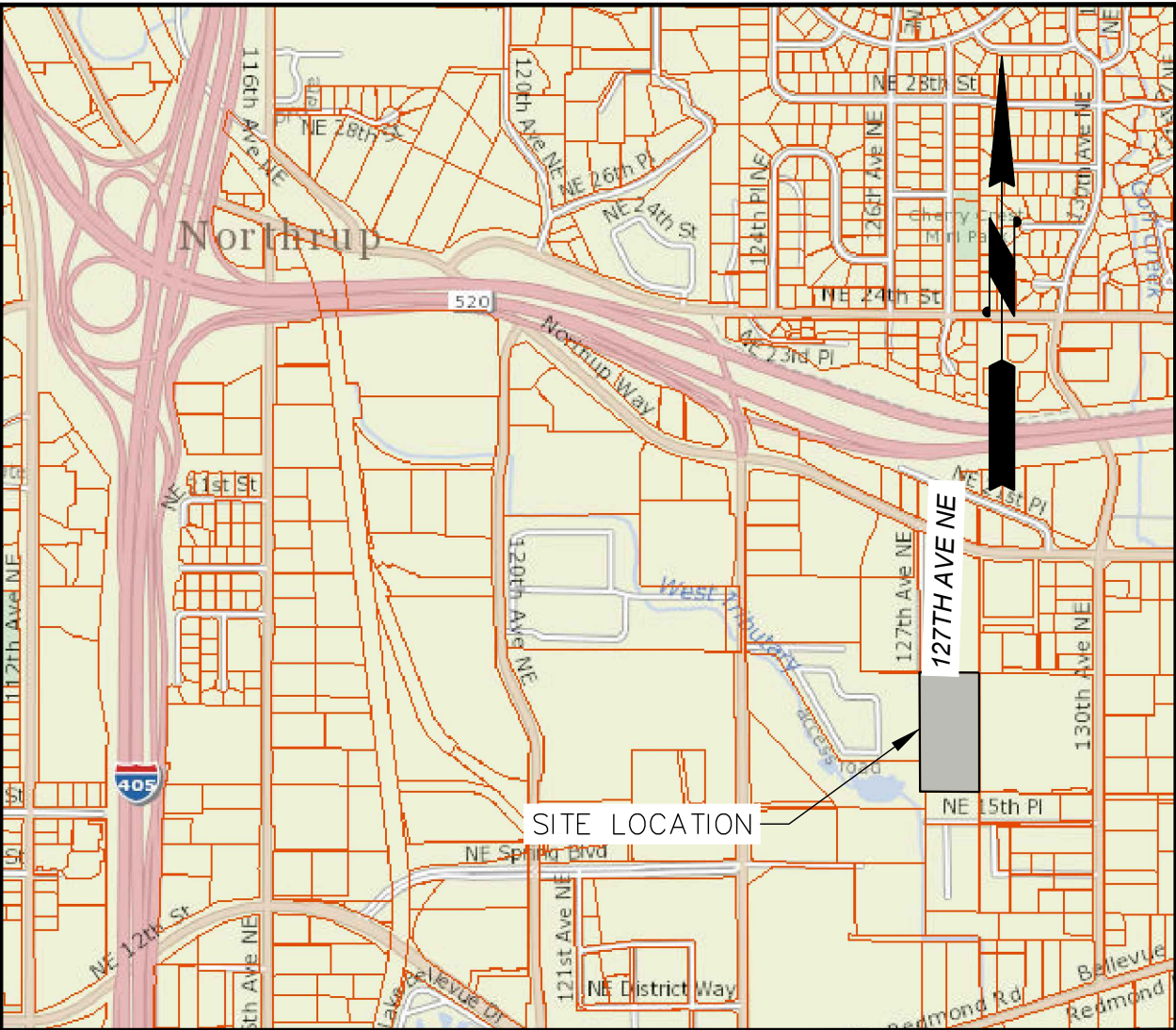
5. Pesticides, Insecticides, and Fertilizers

The applicant must submit as part of the required Building Permit information regarding the use of pesticides, insecticides, and fertilizers in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.080.A, 20.25H.100.F

Reviewer: David Wong, Land Use

REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005



- GENERAL NOTES:
- 1) ALL WORK SHALL CONFORM TO THE 2021 EDITION OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT ENGINEERING STANDARDS.
 - 2) A COPY OF THE PROJECT DESIGN DRAWINGS AND SPECIFICATIONS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES.
 - 3) COPIES OF ALL PERMITS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
 - 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
 - 5) BURIED UTILITIES SHOWN ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE INCLUSIVE OF ALL UTILITIES THAT EXIST ON THE PROPERTY.
 - 6) THE CONTRACTOR SHALL HAVE A PRIVATE UTILITY LOCATE SERVICE VERIFY ALL UTILITIES AND MARK THEIR LOCATIONS ON THE GROUND PRIOR TO STARTING CONSTRUCTION. GOLDER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT IS FOUND BETWEEN EXISTING UTILITIES AND THE PROJECT DESIGN.
 - 7) GOLDER SHALL BE NOTIFIED OF DISCREPANCIES BETWEEN CONTRACT DRAWINGS AND ACTUAL SITE CONDITIONS.
 - 8) THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND ENSURE THE SAFETY OF ALL PERSONS AND PROPERTY FOR THE DURATION OF ON SITE PROJECT WORK. THE CONTRACTOR SHALL PROTECT STRUCTURES, UTILITIES, AND PAVING FROM DAMAGE, DIRECT OR INDIRECT, RESULTING FROM THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY OVER THE DURATION OF ON SITE ACTIVITIES AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - 9) ALL EXCAVATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE U.S. DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT (WISHA) REGULATIONS. THE CONTRACTOR ASSUMES FULL RESPONSIBILITIES FOR THE SAFETY OF ALL CONSTRUCTION OPERATIONS.
 - 10) NO TRENCHES SHALL BE LEFT OPEN WHEN WORK IS NOT IN PROGRESS. ALL OPEN EXCAVATIONS SHALL BE FENCED.
 - 11) THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS.
 - 12) WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND CITY'S INSPECTOR IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (DO NOT INCLUDE WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND THE CITY'S INSPECTOR WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF THE UTILITY. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE CITY'S INSPECTOR PRIOR TO PERMIT SIGN-OFF.
 - 13) INSTALL FLOW DIVERSION MEASURES OUTSIDE OF THE CRITICAL ROOT ZONE OF TREES TO BE PROTECTED. CONSTRUCTION STORMWATER SHALL NOT POND WITHIN A TREE'S CRITICAL ROOT ZONE.
 - 14) ALL TRENCHES SHALL BE BACKFILLED, COMPACTED, AND PAVEMENT IN PLACE IN PAVED AREAS, PRIOR TO TESTING STORM PIPES FOR ACCEPTANCE.

811 CALL BEFORE YOU DIG

UTILITY GRID # H-5

CIVIL ENGINEER

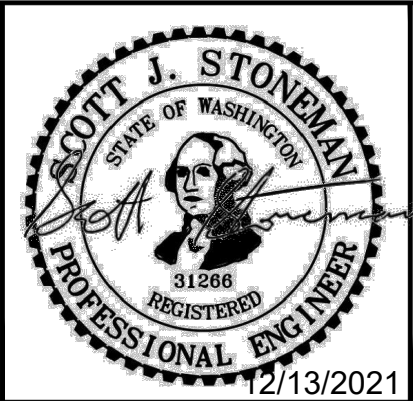
GOLDER ASSOCIATES
18300 NE UNION HILL ROAD
SUITE 200
REDMOND, WA 98052
CONTACT: SCOTT STONEMAN, PE
425 505 3952

NO	DATE	BY	APPR	REVISIONS
0	12/13/21	AST	SJS	ISSUED FOR CITY OF BELLEVUE PERMITTING



GOLDER
MEMBER OF WSP

18300 NE UNION HILL RD #200
REDMOND, WA 98052



Approved By

AST	12/13/21
DESIGNED BY	DATE
SJK	12/13/21
DRAWN BY	DATE
SJS	12/13/21
CHECKED BY	DATE

REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005

COVER SHEET

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05SHT 1 OF 10

DEMOLITION NOTES:

- CLEARING AND GRADING STANDARD NOTES:
- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING EROSION CONTROL STANDARD DETAILS (EC-1 THROUGH EC-23), DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT (PCD) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. NO CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB. ALL DETAILS FOR STRUCTURAL WALLS, ROCKERIES OVER FOUR FEET IN HEIGHT, GEOGRID REINFORCED ROCKERIES AND GEOGRID REINFORCED MODULAR BLOCK WALLS, MUST BE STAMPED BY A PROFESSIONAL ENGINEER.
 - A COPY OF THE APPROVED PLANS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 - ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
 - THE AREA TO BE CLEARED AND GRADED MUST FLAGGED BY THE CONTRACTOR AND APPROVED BY THE CLEARING AND GRADING INSPECTOR PRIOR TO BEGINNING ANY WORK ON THE SITE.
 - A REINFORCED SILT FENCE MUST BE INSTALLED IN ACCORDANCE WITH COB EC-5 AND SHALL BE LOCATED AS SHOWN ON THE APPROVED PLANS OR PER THE CLEARING AND GRADING INSPECTOR, ALONG SLOPE CONTOURS AND DOWN SLOPE FROM THE BUILDING SITE.
 - A HARD-SURFACE CONSTRUCTION ACCESS PAD IS REQUIRED PER CLEARING & GRADING STANDARD DETAIL EC-1 OR EC-2. THIS PAD MUST REMAIN IN PLACE UNTIL PAVING IS INSTALLED.
 - CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
 - ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING AND GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
 - TO REDUCE THE POTENTIAL FOR EROSION OF EXPOSED SOILS, OR WHEN RAINY SEASON CONSTRUCTION IS PERMITTED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ARE REQUIRED:
 - PRESERVE NATURAL VEGETATION FOR AS LONG AS POSSIBLE OR AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR.
 - PROTECT EXPOSED SOIL USING PLASTIC (EC-14), EROSION CONTROL BLANKETS, STRAW OR MULCH (COB GUIDE TO MULCH MATERIALS, RATES, AND USE CHART), OR AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR.
 - INSTALL CATCH BASIN INSERTS AS REQUIRED BY THE CLEARING AND GRADING INSPECTOR OR PERMIT CONDITIONS OF APPROVAL.
 - INSTALL A TEMPORARY SEDIMENT POND, A SERIES OF SEDIMENTATION TANKS, TEMPORARY FILTER VAULTS, OR OTHER SEDIMENT CONTROL FACILITIES. INSTALLATION OF EXPOSED AGGREGATE SURFACES REQUIRES A SEPARATE EFFLUENT COLLECTION POND ONSITE.
 - FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 2% SLOPE, PER THE UNIFORM BUILDING CODE.
 - THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
 - TURBIDITY MONITORING MAY BE REQUIRED AS A CONDITION OF CLEARING AND GRADING PERMIT APPROVAL. IF REQUIRED, TURBIDITY MONITORING MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED TURBIDITY MONITORING PLAN AND AS DIRECTED BY THE CLEARING AND GRADING INSPECTOR. MONITORING MUST CONTINUE DURING SITE (EARTHWORK) CONSTRUCTION UNTIL THE FINAL SIGN-OFF BY THE CLEARING AND GRADING INSPECTOR.
 - ANY PROJECT THAT IS SUBJECT TO RAINY SEASON RESTRICTIONS WILL NOT BE ALLOWED TO PERFORM CLEARING AND GRADING ACTIVITIES WITHOUT WRITTEN APPROVAL FROM THE PCD DIRECTOR. THE RAINY SEASON EXTENDS FROM NOVEMBER 1ST THROUGH APRIL 30TH, AS DEFINED IN SECTION 23.76.093A OF THE CLEARING AND GRADING CODE.

CONSTRUCTION NOISE NOTES:

CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE HOURS IS PROHIBITED PER BCC 9.18.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY MAY ASSESS A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE. THE PENALTIES ARE:

- A WARNING WILL BE ISSUED IF NO CONSTRUCTION NOISE VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- A CITATION WILL BE ISSUED AND A \$125 FINE IMPOSED IF ONE PREVIOUS VIOLATION HAS BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.
- A CITATION WILL BE ISSUED AND A \$250 FINE IMPOSED IF TWO OR MORE PREVIOUS VIOLATION HAVE BEEN COMMITTED BY THE SAME PERSON WITHIN THE PREVIOUS TWO YEARS AT ANY LOCATION WITHIN THE CITY.

FOR ALL COMMERCIAL, MULTI-FAMILY, AND NEW SINGLE-FAMILY HOMES:

CONSTRUCTION-RELATED NOISE IS ALLOWED:

7 AM TO 6 PM ON WEEKDAYS
9 AM TO 6 PM ON SATURDAYS

CONSTRUCTION-RELATED NOISE IS NOT ALLOWED:

OUTSIDE OF ALLOWABLE HOURS
LEGAL HOLIDAYS
SUNDAYS

MOBILIZATION/STOCKPILE AREA NOTES:

ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE PCD INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.

STREET SWEEPING NOTE:

CONTRACTOR SHALL IMMEDIATELY SWEEP THE PAVED CITY RIGHT-OF-WAY WHEN DIRT OR OTHER CONSTRUCTION RELATED DEBRIS IS DEPOSITED.

DUST SUPPRESSION:

DUST FROM CLEARING, GRADING, AND OTHER CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED AT ALL TIMES. ANY DUST SUPPRESSANTS USED SHALL BE APPROVED BY THE DIRECTOR. PETROCHEMICAL DUST SUPPRESSANTS ARE PROHIBITED. WATERING THE SITE TO SUPPRESS DUST IS ALSO PROHIBITED UNLESS IT CAN BE DONE IN A WAY THAT KEEPS SEDIMENT OUT OF THE PUBLIC DRAINAGE SYSTEM.

DESIGN CHANGES AFTER PERMIT ISSUANCE:

IF UTILITIES DESIGN CHANGES RESULT IN CHANGES TO THE CLEARING LIMITS SHOWN ON THESE PLANS, THE APPLICANT MUST SUBMIT A REVISION TO THE CLEARING AND GRADING PERMIT THAT INDICATES THE LOCATION OF THE NEW CLEARING LIMITS.

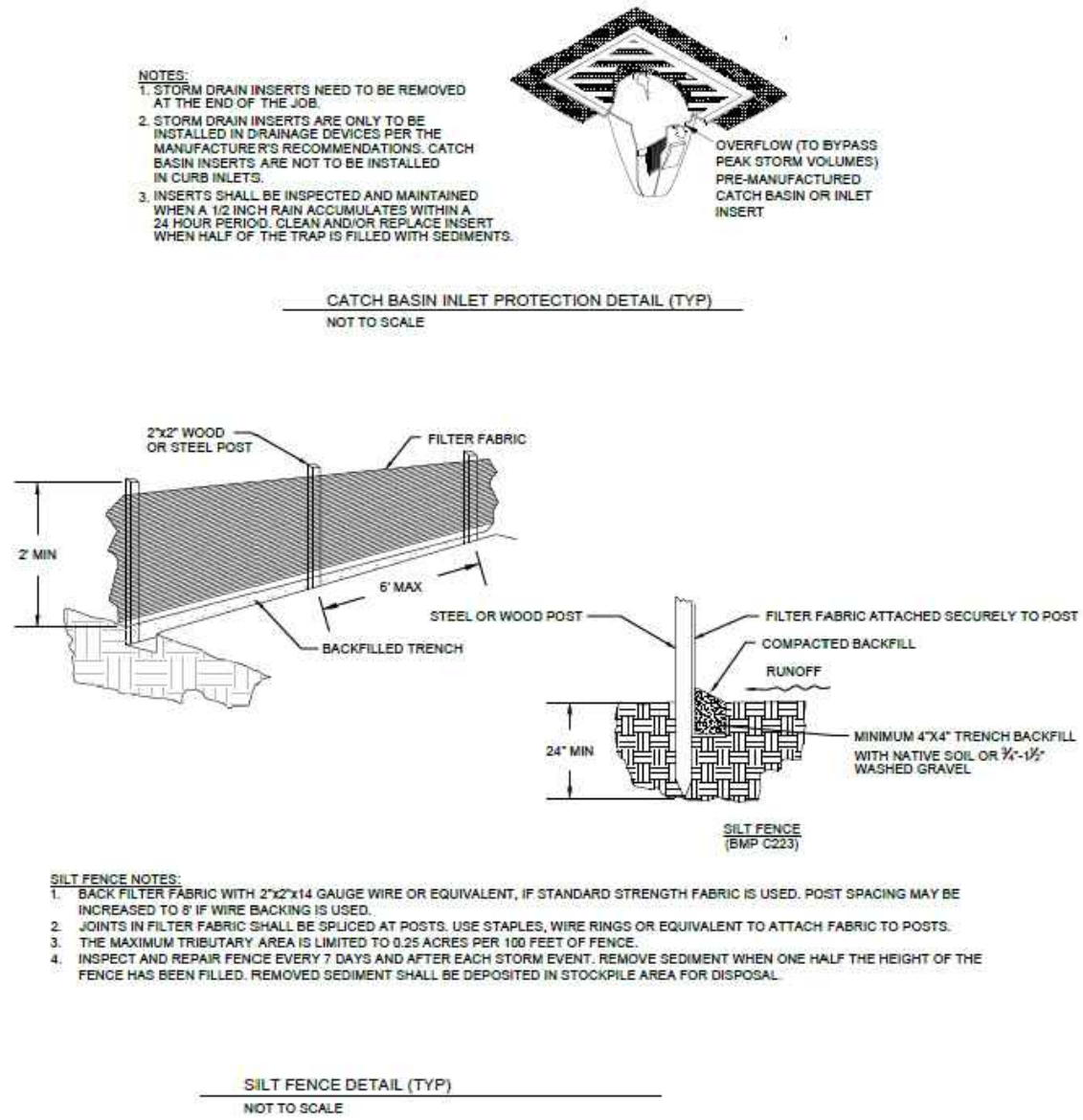
EROSION AND SEDIMENT CONTROL NOTES:

TEMPORARY EROSION AND SEDIMENT CONTROL NOTES:

- ON-SITE EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. SOILS SHALL BE PROTECTED USING GRAVEL BASE COURSE, PLASTIC SHEETING, OR MULCH.
- EXISTING STORM DRAINAGE FEATURES TO BE REMOVED OR RE-ROUTED SHALL BE DONE PRIOR TO SITE GRADING ACTIVITIES.
- TRIANGULAR SILT DIKES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, AND AS DIRECTED BY THE ENGINEER.
- NATIVE TOPSOIL AND NATURAL VEGETATION SHOULD BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE.
- DIVERT RUNOFF AWAY FROM EXPOSED AREAS WHEREVER POSSIBLE. KEEP CLEAN WATER CLEAN.
- LIMIT THE EXTENT OF CLEARING OPERATIONS AND PHASE CONSTRUCTION OPERATIONS.
- PREVENT TRACKING OF SEDIMENT OFFSITE.
- SHOULD THE TESC MEASURES SHOWN ON THIS DRAWING NOT PROVE ADEQUATE TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL INSTALL ADDITIONAL FACILITIES AS NECESSARY TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS AND/OR STORM DRAINAGE SYSTEMS.

EROSION CONTROL CONSTRUCTION NOTES:

- THE PROJECT CERTIFIED EROSION AND SEDIMENTATION CONTROL LEAD (CESCL) MUST BE PRESENT ONSITE OR ON CALL AT ALL TIMES.
- THE CESCL MUST KEEP ALL MONITORING INFORMATION, INCLUDING SITE INSPECTION REPORTS, CALIBRATION AND SAMPLING RESULTS, THE SWPPP AND ANY OTHER RELEVANT DOCUMENTATION DURING THE LIFE OF THE CONSTRUCTION PROJECT FOR 3 YEARS FOLLOWING THE END OF THE PERMIT COVERAGE.
- THE CESCL SHALL REPORT DISCHARGE TURBIDITY LEVELS OF 250 NTU AND ABOVE BY PHONE TO: (425) 649-7000



CITY OF BELLEVUE STANDARD NOTES FOR EROSION CONTROL PLANS:

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DOS) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN

TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.

- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- ANY ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

STORM DRAINAGE GENERAL NOTES:

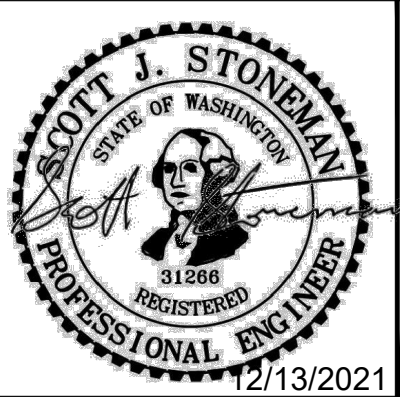
- STORM DRAINAGE GENERAL NOTES:
- ALL WORK SHALL CONFORM TO THE 2021 EDITION OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
 - STORM PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4" - 15") OR ASTM F-679 (18" - 27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
 - THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE EXCAVATOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HERE ON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
 - THE ROOF DOWNSPOUT SYSTEMS SHALL NOT BE INTERCONNECTED AND SHALL SEPARATELY CONVEY COLLECTED FLOWS TO THE CONVEYANCE SYSTEM OR TO ON-SITE STORMWATER FACILITIES.
 - PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITE'S APPROVED CSWPPP. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
 - PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED, AND OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, (SUCH AS RUBBLE, MORTAR AND WEDGED DEBRIS) SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
 - ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE THE CURB LINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING SOLID COVERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOCKING SOLID COVERS.
 - SIDE STORM STATIONS ARE REFERENCED FROM THE NEAREST DOWNSTREAM MANHOLE/CATCH BASIN.
 - ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
 - ALL TRENCHES SHALL BE COMPACTED, AND HOT MIX ASPHALT IN PLACE IN PAVED AREAS, PRIOR TO TESTING STORM LINES FOR ACCEPTANCE.
 - ALL PUBLIC STORM DRAINS SHALL BE AIR TESTED AND HAVE A VIDEO INSPECTION PERFORMED PRIOR TO ACCEPTANCE. STORM MAIN CONSTRUCTED WITH FLEXIBLE PIPE SHALL BE DEFLECTION TESTED WITH A MANDREL PRIOR TO ACCEPTANCE.
 - ALL STORM MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE STAKED BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR LINE AND GRADE CUT SHEETS PROVIDED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
 - THE CONTRACTOR SHALL USE A VACUUM SHEET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
 - MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACED SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
 - PLACEMENT OF SURFACE APPURTENANCES (MH LIDS, VALVE LIDS, ETC.) IN TIRE TRACKS OR TRAFFIC LANES SHALL BE AVOIDED WHENEVER POSSIBLE.
 - THE CONTRACTOR SHALL PERFORM A VIDEO INSPECTION AND PROVIDE A DVD OF THE STORM PIPE INTERIOR FOR THE CITY'S REVIEW. THE VIDEO SHALL PROVIDE A MINIMUM OF 14 LINES PER MILLIMETER RESOLUTION AND COVER THE ENTIRE LENGTH OF THE APPLICABLE PIPE. THE CAMERA SHALL BE MOVED THROUGH THE PIPE AT A UNIFORM RATE (≤ 30 FT/MIN), STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION AND CLEANING TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.
 - CLEARLY LABEL PUBLIC AND PRIVATE SYSTEM ON PLANS. PRIVATE SYSTEMS SHALL BE MARKED "PRIVATE" AND SHALL BE MAINTAINED BY THE PROPERTY OWNER (S).
 - ALL CONCRETE STRUCTURES (VAULTS, CATCH BASINS, MANHOLES, OIL/WATER SEPARATORS, ETC.) SHALL BE VACUUM TESTED.
 - MANHOLES, CATCH BASINS AND INLETS IN EASEMENTS SHALL BE CONSTRUCTED TO PROVIDE A STABLE, LEVEL GRADE FOR A MINIMUM RADIUS OF 2.5 FEET AROUND THE CENTER OF THE ACCESS OPENING TO ACCOMMODATE CONFINED SPACE ENTRY EQUIPMENT.
 - TOPS OF MANHOLES/CATCH BASINS WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL AFTER PAVING.
 - CONTRACTOR SHALL ADJUST ALL MANHOLE/CATCH BASIN RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
 - CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES/CATCH BASINS, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING STORM DRAINAGE SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
 - THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF FIVE FEET (5) HORIZONTAL SEPARATION BETWEEN ALL WATER AND STORM DRAINAGE LINES. ANY CONFLICT SHALL BE REPORTED TO THE UTILITY AND THE DEVELOPER'S ENGINEER PRIOR TO CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT NO CONFLICTS EXIST BETWEEN STORM DRAINAGE LINE AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL INLETS AND CATCH BASINS, WHICH WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY.
 - MINIMUM COVER OVER STORM DRAINAGE PIPE SHALL BE 2 FEET, UNLESS OTHERWISE SHOWN.
 - AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 DEGREES.
 - AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN CONCRETE BLOCKING AND OTHER BURIED UTILITIES SHALL BE 5 FEET.
 - WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES INSPECTOR PRIOR TO PERMIT SIGN-OFF.
 - THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC STORM DRAINAGE EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNER AFTER RESTORATION HAS BEEN COMPLETED.

UTILITY GRID # H-5

NO	DATE	BY	APPR	REVISIONS
0	12/13/21	AST	SJS	ISSUED FOR CITY OF BELLEVUE PERMITTING

 **GOLDER**
MEMBER OF WSP

18300 NE UNION HILL RD #200
REDMOND, WA 98052



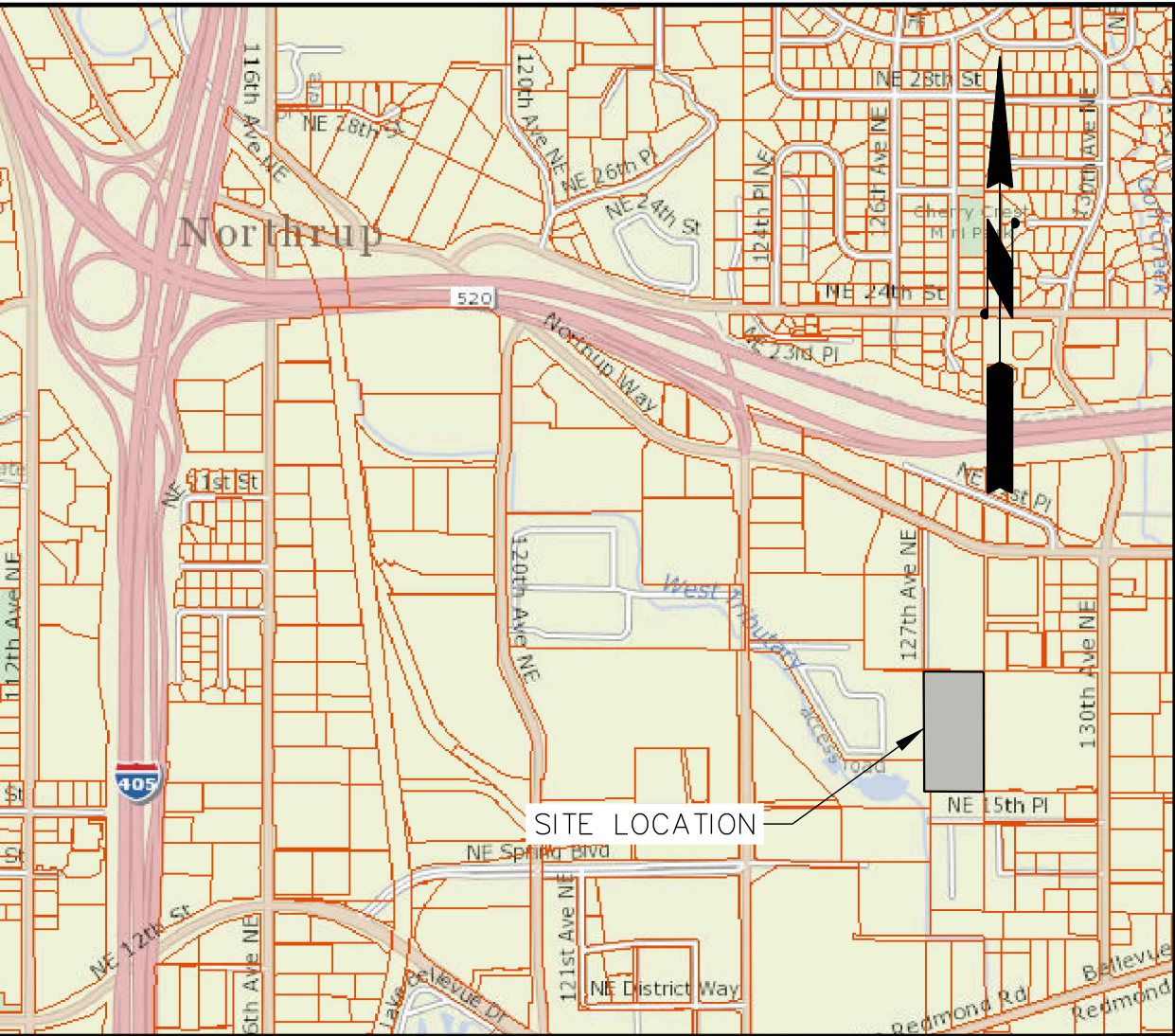
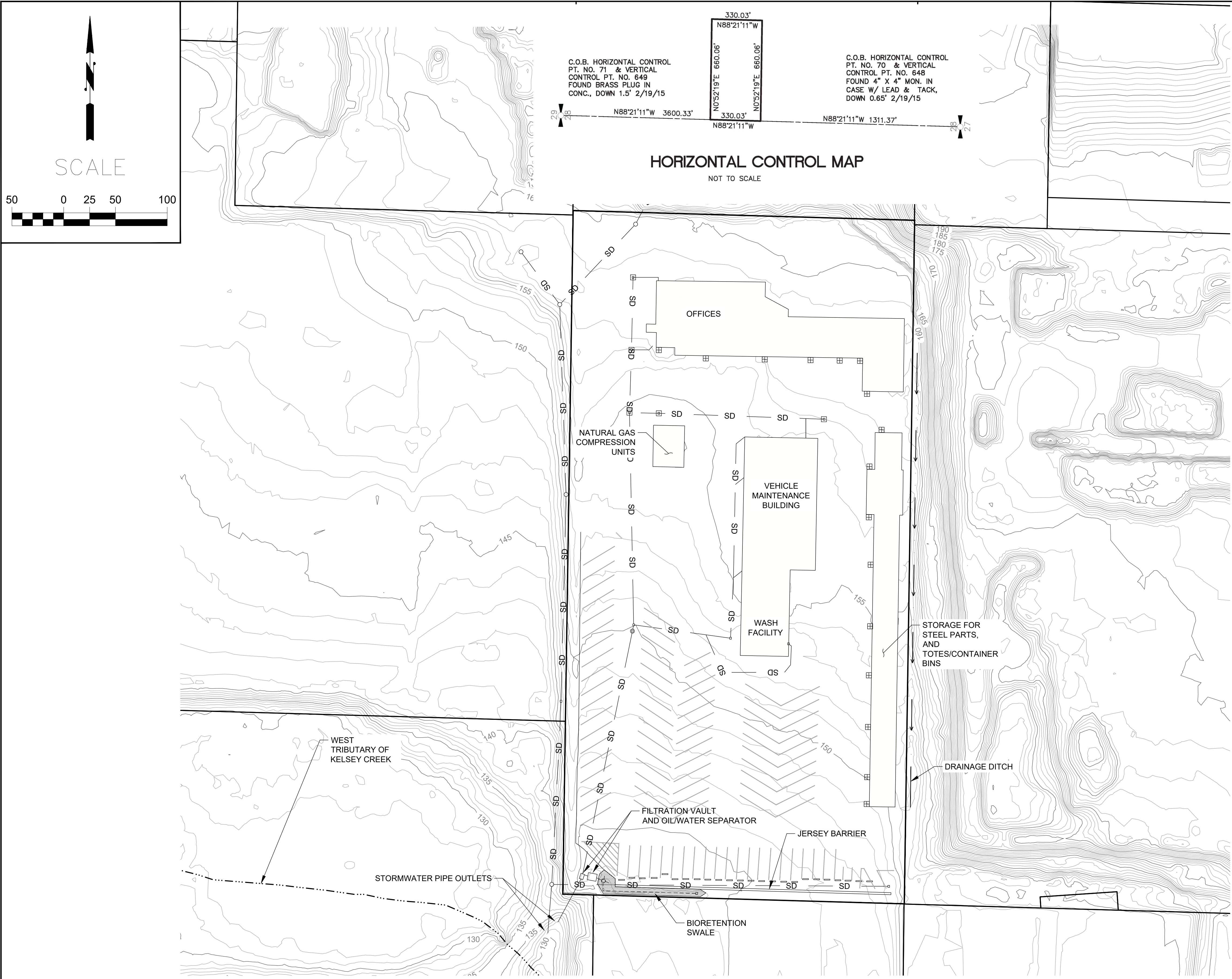
Approved By

AST	12/13/21
DESIGNED BY	DATE
SJK	12/13/21
DRAWN BY	DATE
SJS	12/13/21
CHECKED BY	DATE

REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005

NOTES

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05 SHT 2 OF 10



- NOTES:
- 1) SURVEY OF SOUTH PROPERTY LINE, SOUTHERN STORMWATER STRUCTURES, AND ADJACENT BUILDING BY CHRISTENSEN VAN MOURK, PLLC. FEBRUARY 26, 2015.
 - 2) TOPOGRAPHIC CONTOURS FROM PSLC KING COUNTY 2016/2017 LIDAR, PUBLICLY AVAILABLE
 - 3) OTHER STORMWATER UTILITIES THROUGHOUT SITE, PARKING PAINT, AND BUILDING OUTLINES DIGITIZED FROM AERIAL IMAGERY.

- LEGEND:
- 148— EXISTING CONTOUR (2-FOOT CONTOUR INTERVAL)
 - PROPERTY BOUNDARY
 - BIORETENTION SWALE AREA
 - DOWNSPOUT FILTER BOX
 - SD UNDERGROUND STORMDRAIN LINE
 - CATCH BASIN

SITE INFORMATION:
PROPERTY ADDRESS: 1600 127TH AVE NE BELLEVUE WA 98005
TAX PARCEL NO. 282505-9230

BASIS OF BEARINGS:
BEARING N88°21'11W BETWEEN BELLEVUE CONTROL 0070 & 0071
WASHINGTON COORDINATE SYSTEM NAD83(2011) – NORTH ZONE
CITY OF BELLEVUE CONTROL NO. 0071 –
NORTHING 230765.945 – EASTING 1306950.044
CITY OF BELLEVUE CONTROL NO. 0070 –
NORTHING 230615.253 – EASTING 1312189.567

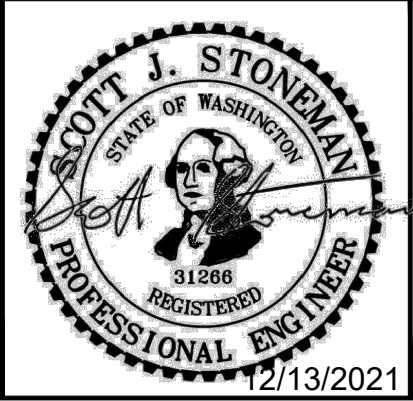
VERTICAL DATUM:
NAVD88 – CITY OF BELLEVUE VERTICAL BENCHMARK NO. 648
FOUND 4" X 4" CONCRETE MON IN CASE, W/ TACK IN LEAD
DOWN 0.6' ELEVATION 190.03'

UTILITY GRID # H-5

NO	DATE	BY	APPR	REVISIONS
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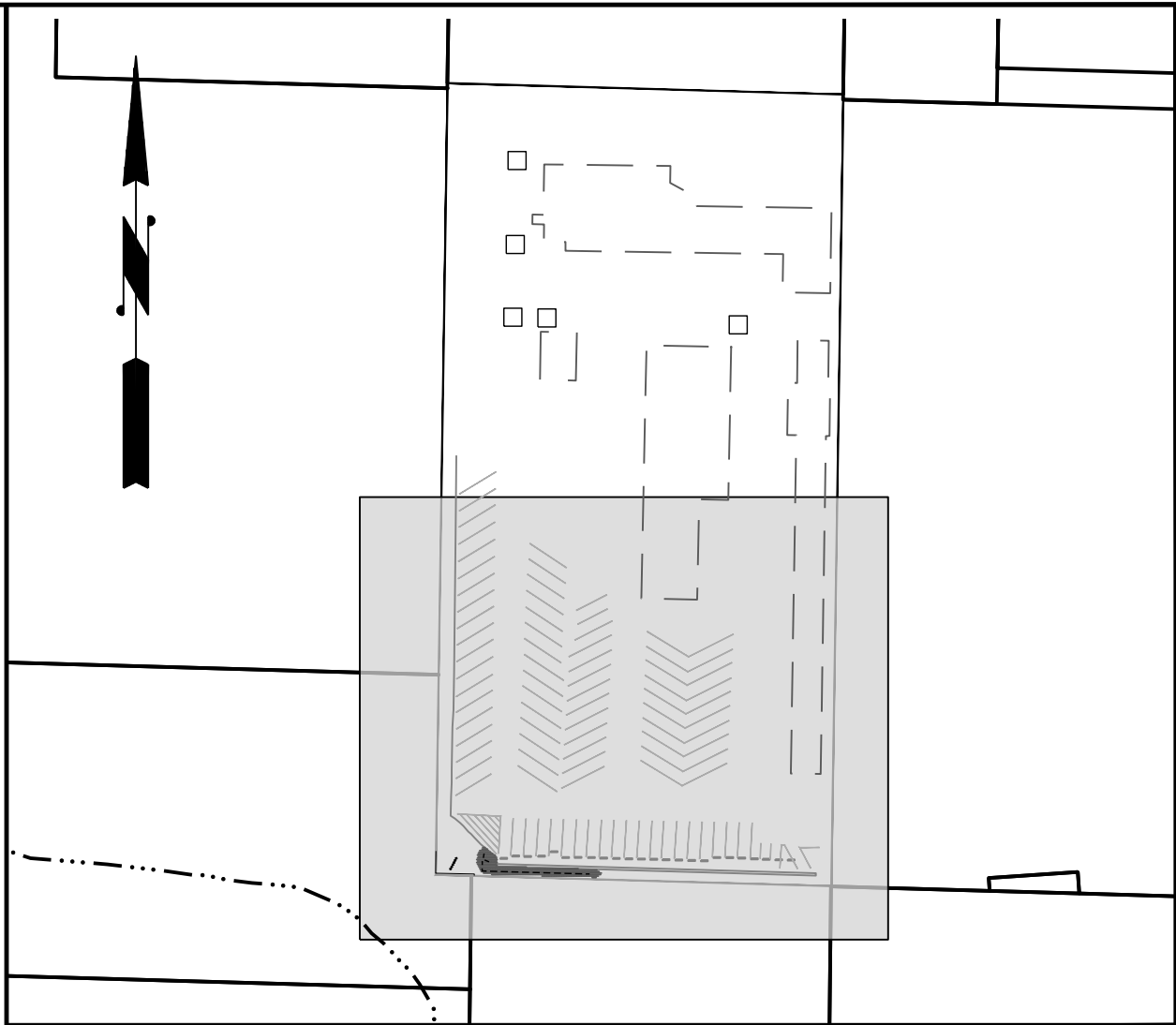
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REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
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1600 127TH AVE NE
BELLEVUE, WA 98005

TOPOGRAPHIC
SURVEY

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05

SHT 3 OF 10



- LEGEND:
- 148— EXISTING CONTOUR (1-FOOT CONTOUR INTERVAL)
 - FILTRATION SWALE AREA
 - ⊞ DOWNSPOUT FILTER BOX
 - SD — UNDERGROUND STORMDRAIN LINE
 - ////// EXCAVATION EXTENT

- NOTES:
- EXCAVATION EXTENTS APPROXIMATE.
 - EXCAVATION TO BE SLOPED BACK, STEPPED, OR MECHANICALLY PROTECTED PER 29 CFR 1926 SUBPART P.

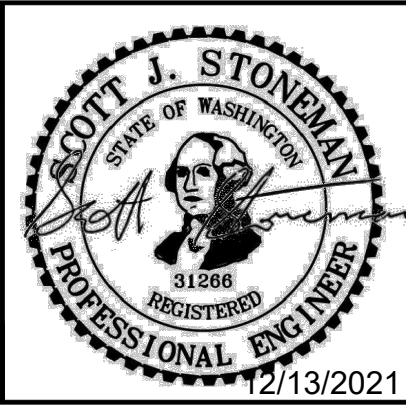
UTILITY GRID # _____ H-5 _____

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18300 NE UNION HILL RD #200
REDMOND, WA 98052



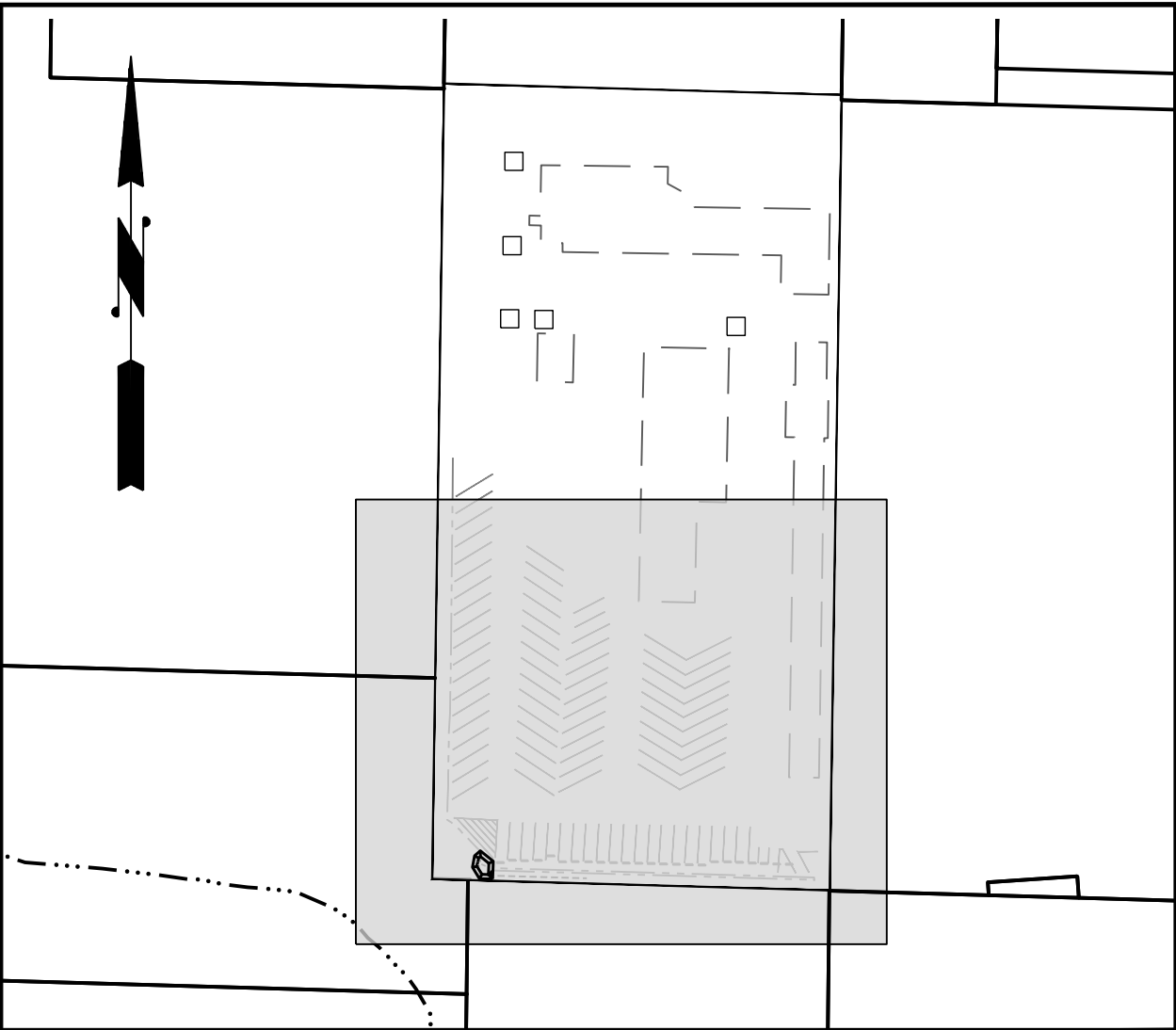
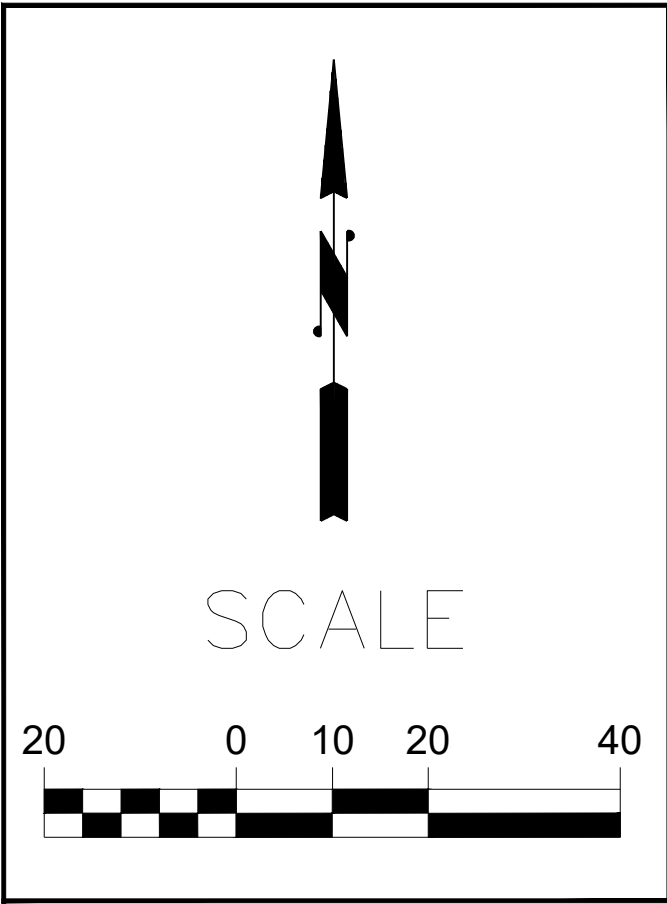
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SJS	12/13/21
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REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005

DEMOLITION PLAN

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05SHT 4 OF 10



- LEGEND:
- 148— EXISTING CONTOUR (1-FOOT CONTOUR INTERVAL)
 - FILTRATION SWALE AREA
 - ⊞ DOWNSPOUT FILTER BOX
 - SD — UNDERGROUND STORMDRAIN LINE

NOTES:

1) CONFINED SPACE ENTRY PERMIT REQUIRED FOR PERSONNEL ENTERING THE VAULTS.

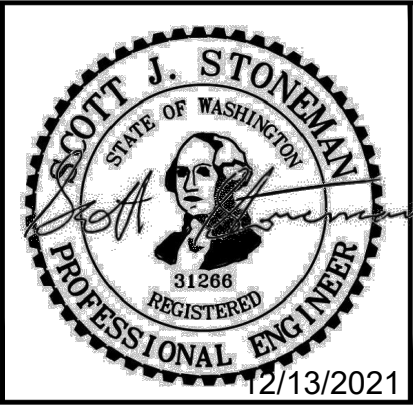
UTILITY GRID # H-5

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GOLDER
MEMBER OF WSP

18300 NE UNION HILL RD #200
REDMOND, WA 98052



Approved By

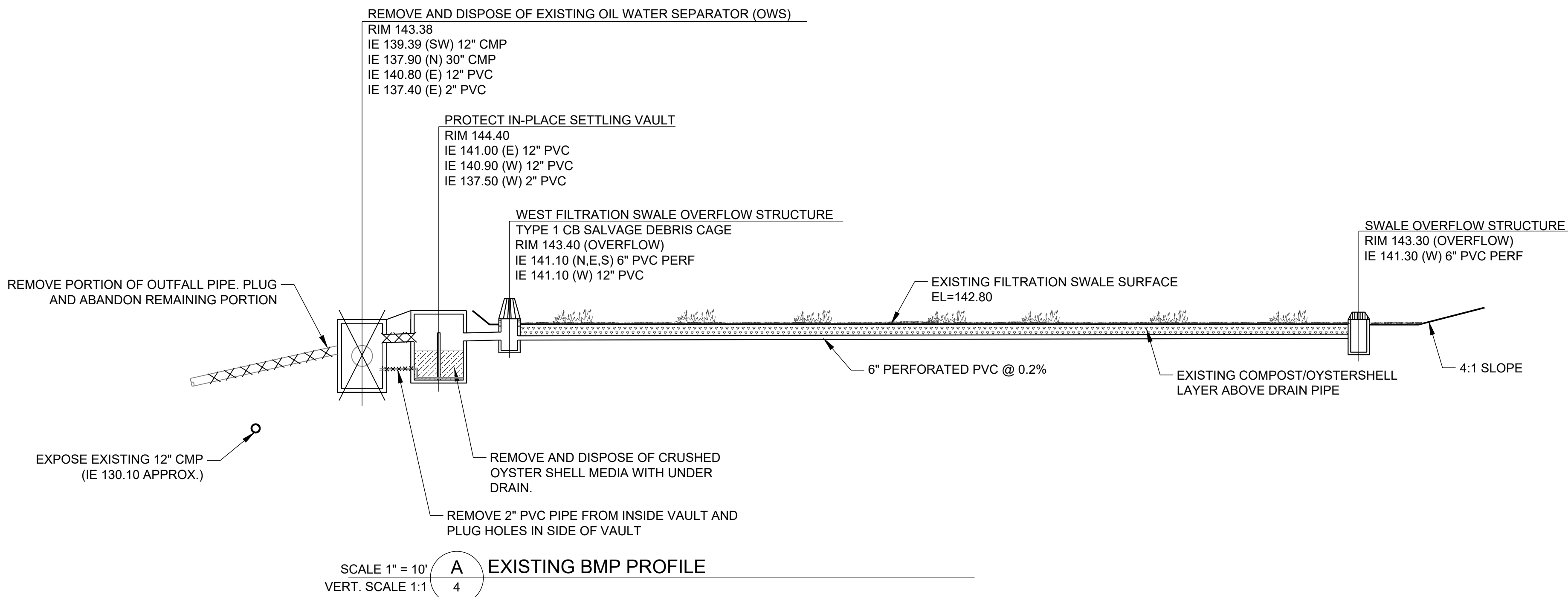
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REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005

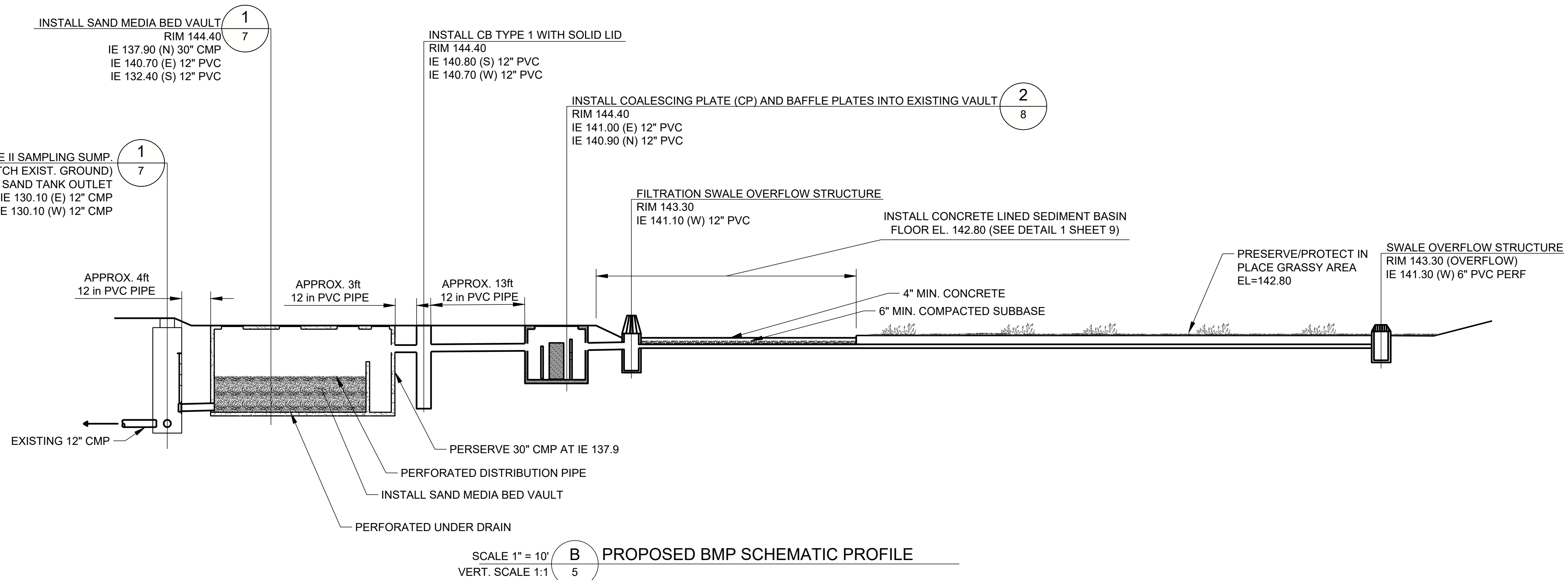
DRAINAGE
IMPROVEMENTS

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05

SHT 5 OF 10



NOTES:



UTILITY GRID # H-5

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18300 NE UNION HILL RD #200
REDMOND, WA 98052



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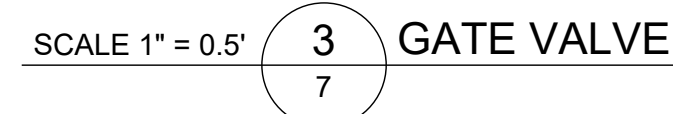
PROFILES

[illegible]

REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005



- 1) 3/8" DIAMETER CIRCULAR PERFORATIONS PER ASTM F758 PATTERN.
- 2) 3/8" DIAMETER CIRCULAR PERFORATIONS AT 90 DEGREES. ROWS SPACED 3 & 1/4 -INCH ON CENTER



UTILITY GRID # H-5

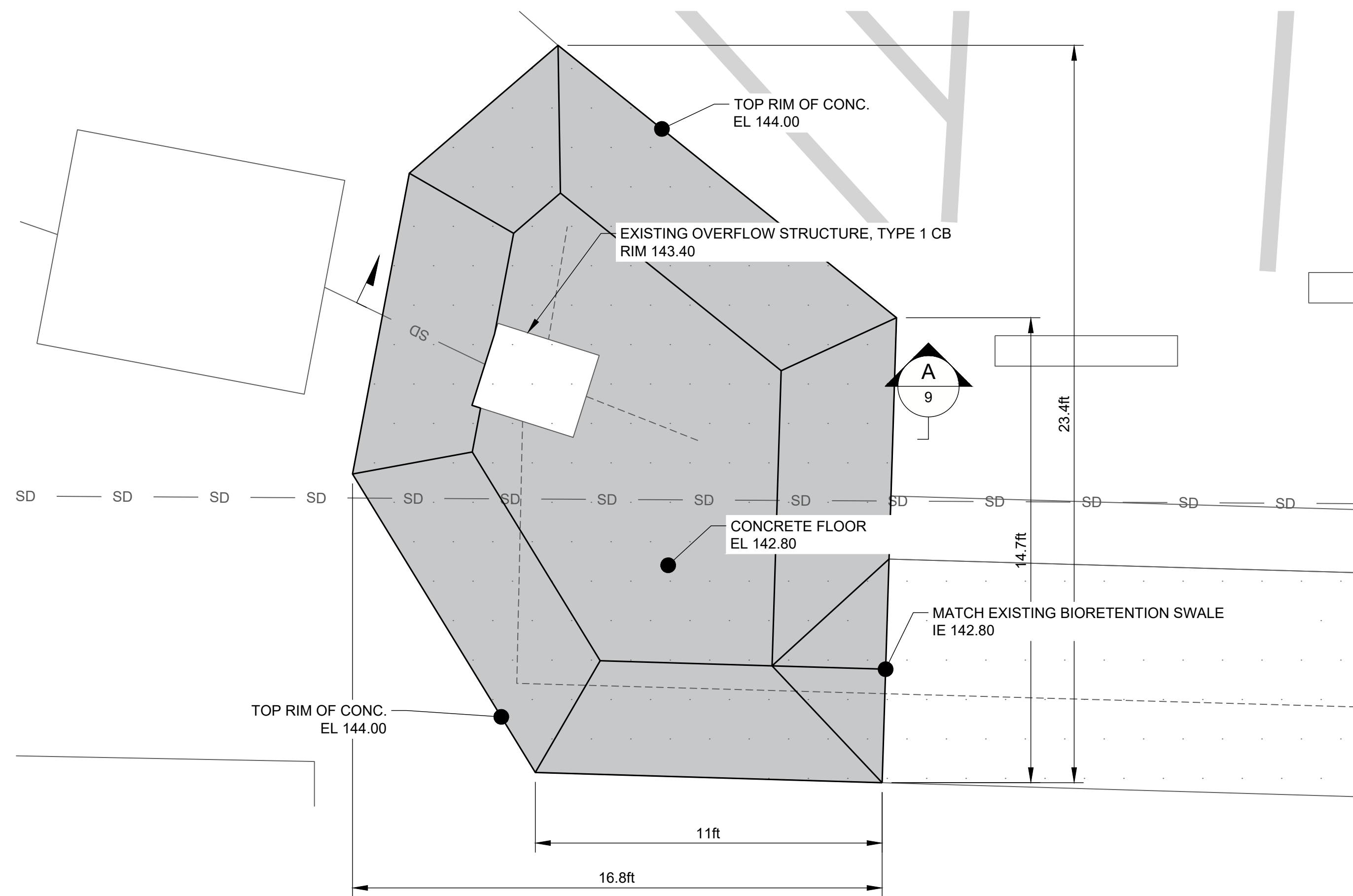
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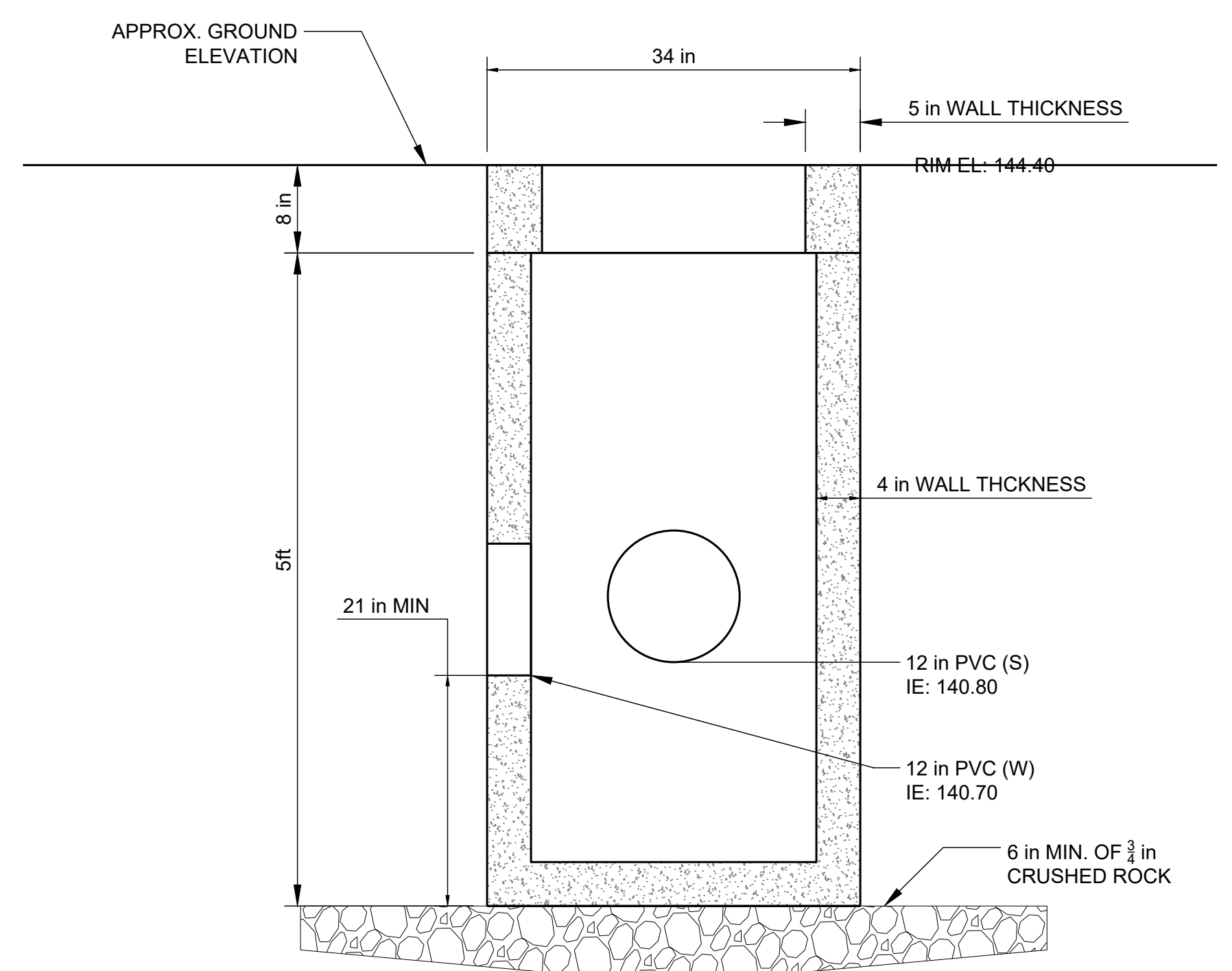


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1600 127TH AVE NE
BELLEVUE, WA 98005

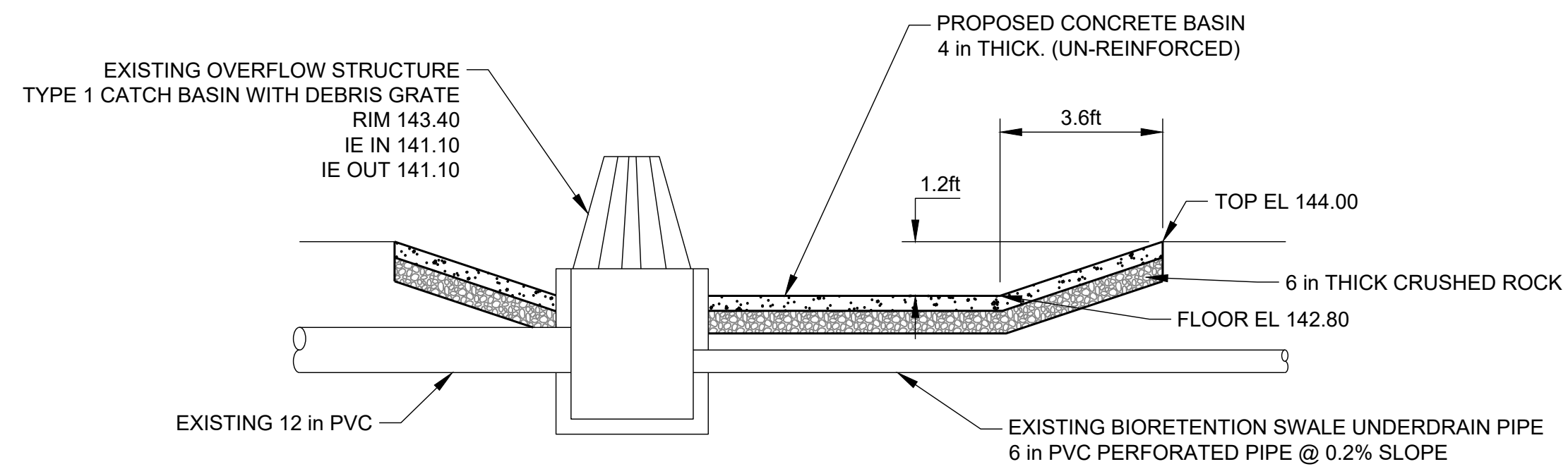
SW ¼ NE ¼ SEC 28 TWP 25 RGE 05 SHT 8 OF 10



SCALE 1" = 3' **1**
5, 6 CONCRETE SEDIMENT BASIN PLAN



SCALE 1" = 1' **B**
VERT. SCALE 1: 9 WSDOT TYPE 1 CB

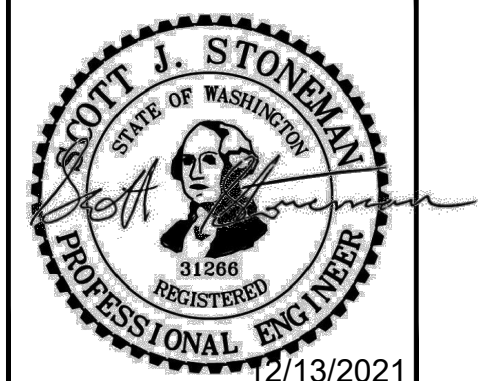


SCALE 1" = 3' **A**
VERT. SCALE 1:1 9 CONCRETE SEDIMENT BASIN SECTION

UTILITY GRID # H-5

NO	DATE	BY	APPR	REVISIONS
0	12/13/21	AST	SJS	ISSUED FOR CITY OF BELLEVUE PERMITTING

GOLDER
MEMBER OF WSP
18300 NE UNION HILL RD #200
REDMOND, WA 98052

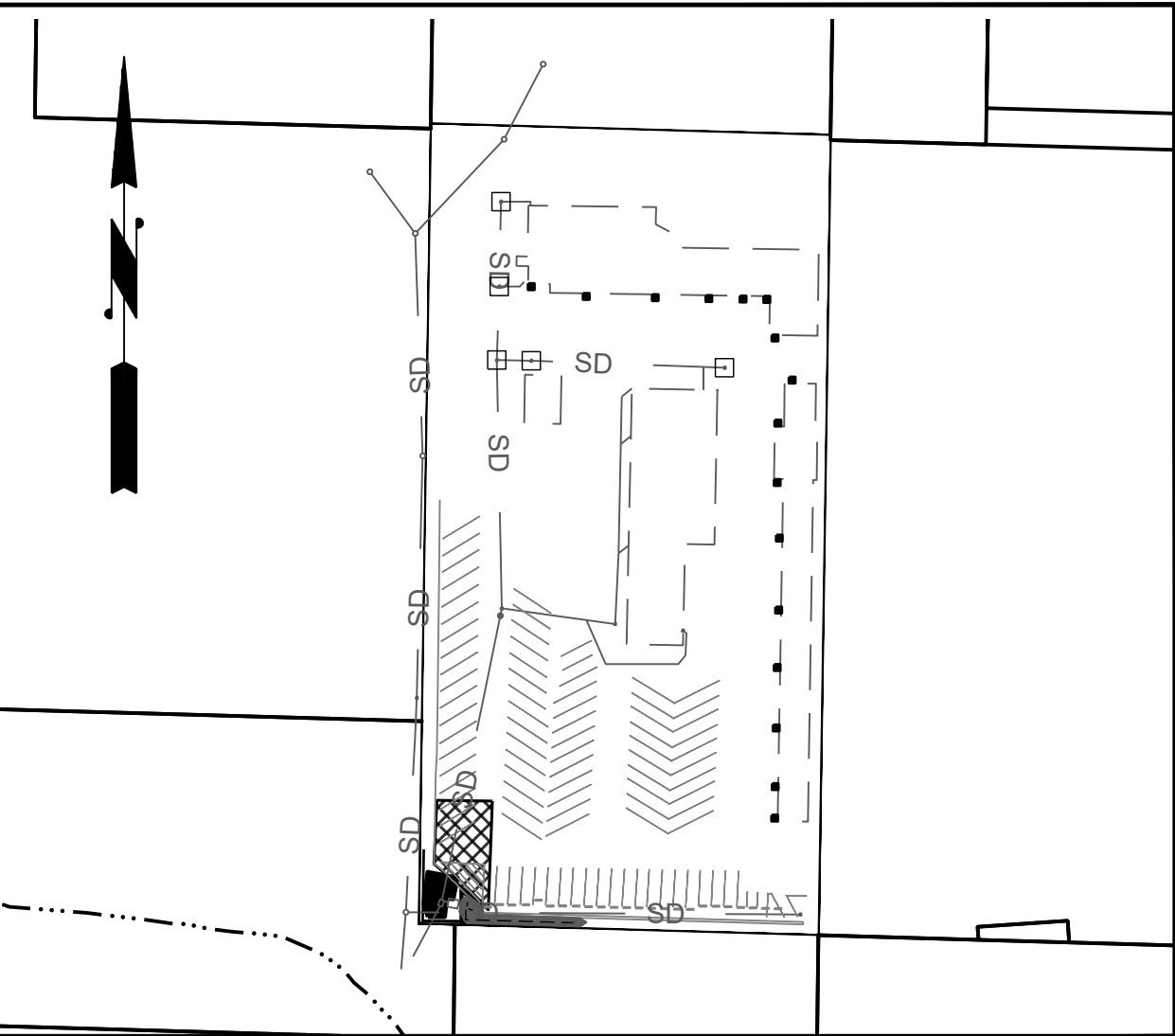
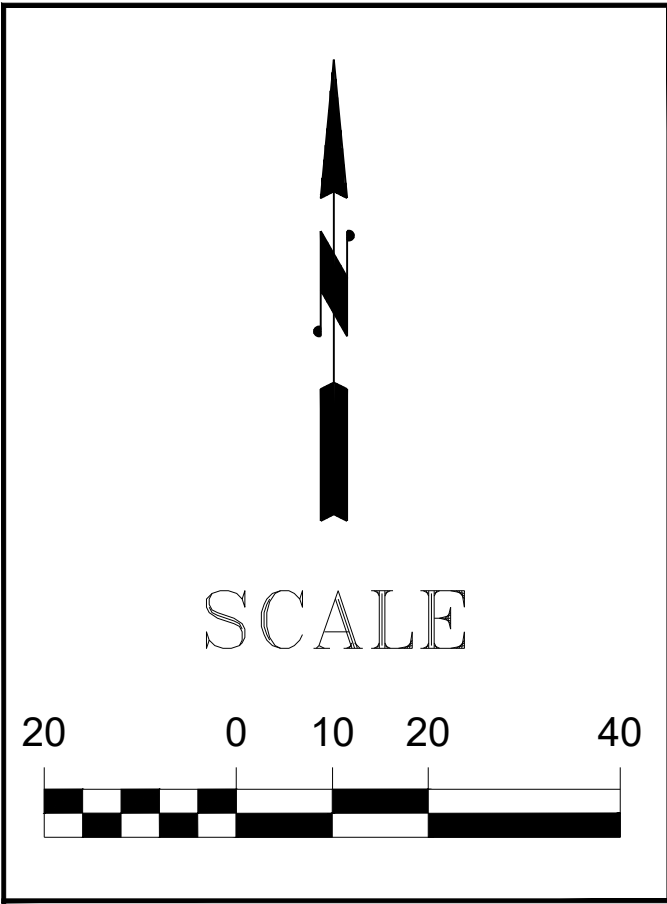
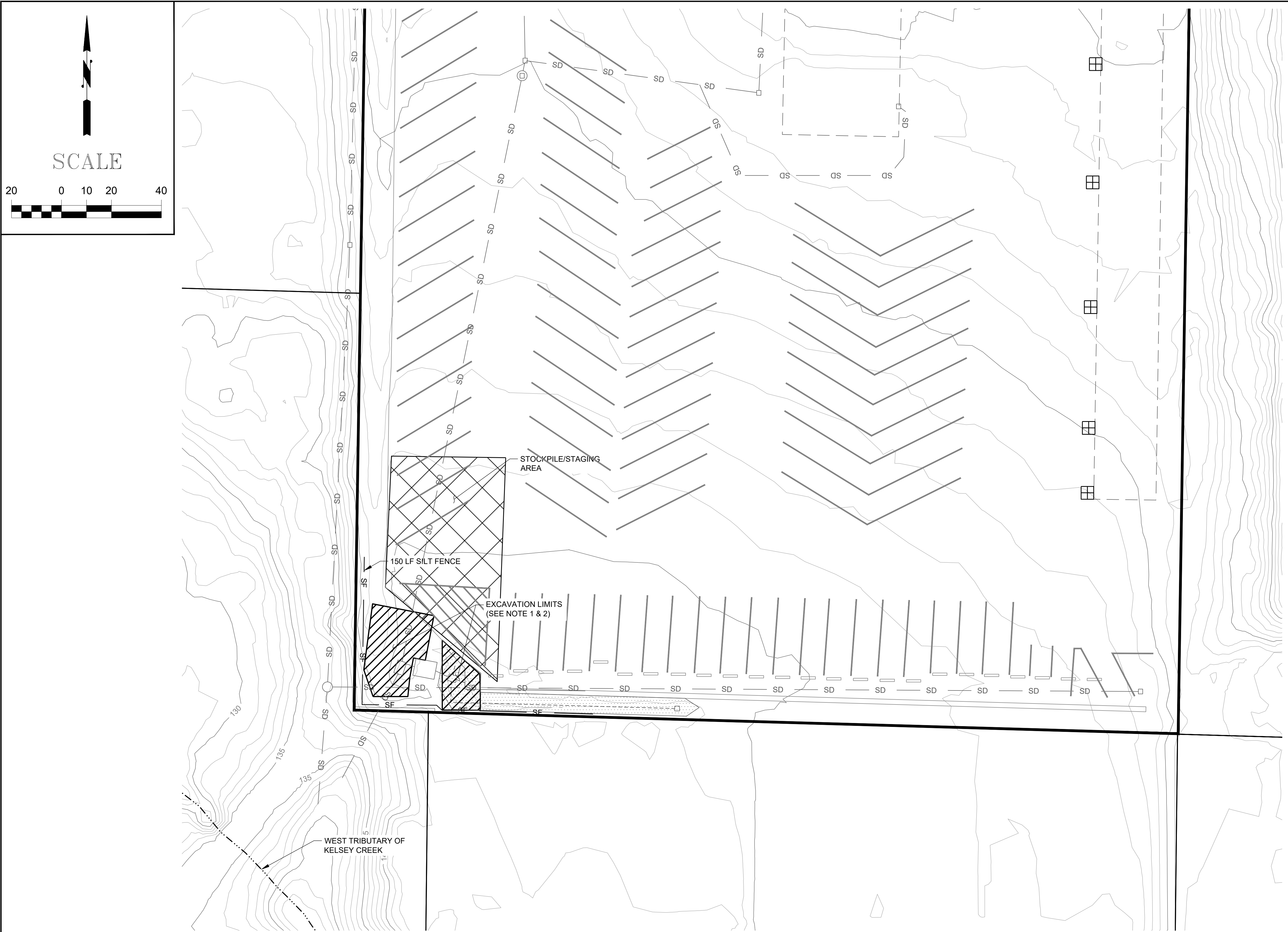


Approved By

AST	12/13/21
DESIGNED BY	DATE
SJK	12/13/21
DRAWN BY	DATE
SJS	12/13/21
CHECKED BY	DATE

REPUBLIC SERVICES, INC.
STORMWATER SITE IMPROVEMENTS
BELLEVUE HAULING FACILITY
1600 127TH AVE NE
BELLEVUE, WA 98005

DETAILS (3 OF 3)



- NOTES:
- 1) PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM.
 - 2) THE FOLLOWING BMPs WILL BE IMPLEMENTED DURING CONSTRUCTION IN THE POTENTIAL EROSION AREA:
 - C101
 - C103
 - C107
 - C123
 - C153
 - C209
 - C220
 - C233
 - C235
 - C240

ART MAINS
PHONE #: (509)581-0466

- LEGEND:
- STOCKPILE/STAGING AREA
 - EXCAVATION LIMITS

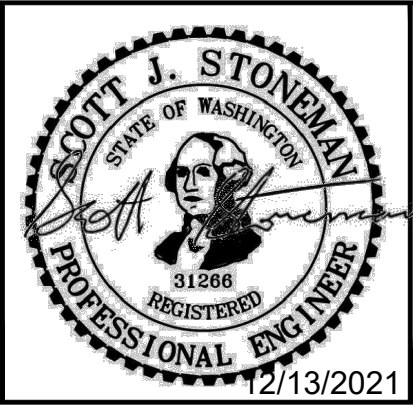
UTILITY GRID # _____ H-5

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GOLDER
MEMBER OF WSP

18300 NE UNION HILL RD #200
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ESC PLAN

SW ¼ NE ¼ SEC 28 TWP 25 RGE 05 SHT 10 OF 10